DOUBLE STOREY DWELLING WITH BASEMENT #120B, Marco Avenue, Panania



General notes:

- All materials and work practices shall comply with all-relevant current Australian standards (as amended)
- referred to therein.

 These drawings shall be read in conjunction with all relevant structural and all other consultant's drawings/ details and with any other written instructions issued. Figured dimensions take precedence over scaled

- Figured dimensions take precedence over scaled dimensions.
 The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
 The contractor/builder is responsible for setting out and checking all levels and measurements on site.
 All dimensions and levels are to be checked and verified by the Owner/builder and any discrepancies in the documents must be resolved before ordering commencement of any works.
 Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows are to be flashed all around.
 Installation of all services shall comply with supply authority requirements.

- Installation of all services shall comply with supply authority requirements.

 The builder and subcontractor shall ensure that all stormwater drains, Sewer pipes and the like are located at a sufficient distance from any footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and under mining of any building and its footing system.

Page No.	Title
1	Coverpage
2	Basix Notes
3	Cut and Fill Plan
4	Site Plan
5	Site Plan
6	Basement
7	Ground Floor Plan
8	First Floor Plan
9	Roof Plan
10	Elevations
11	Side Elevations
12	Section
13	Door Schedule & SOF
14	Windows Schedule
15	Landscape Plan
16	Sediment Control Plan
17	Site Analysis
18	Shadow Analysis 20 March
19	Shadow Analysis 20 June
20	Shadow Analysis 20 Sep
21	FSR Calculation
22	Floor Finish





BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1786364S

Date of issue: Friday, 07 March 2025

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.





Scan QR code or follow website link for rating details.

Assessor name Zoran Cvetkovski

Accreditation No. DMN/13/1641

Property Address Unit 120B, 120A Marco

Avenue,PANANIA NSW,2213



Basix-Commitments

/For details: See the Basix certificate/

Alternative water

The applicant must install a rainwater tank of at least 2000 litres.

The rainwater tank to collect rain runoff from at least 50m2 of the roof.

The applicant must connect the rainwater tank to:

- all toilets in the development
- the cold water tap that supplies each clothes washer
- at least one outdoor tap in the development

Fixtures

- Shower heads 3 stars (>7.5but <= 9.0 L/min)
- Toilets......4 star
- Kitchen tap.....5 star
- Basin Taps.....5star

Hot Water System: Gas instantaneous with a performance of 5 stars

Heating/Cooling: In at least 1 living area and 1 bedroom: 3-phase Air-conditioning; Energy rating: EER 2.5 - 3.0 (Zoned)

Ventilation

- At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light with timer off
- Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
- Laundry: natural ventilation only, or no laundry; Operation control: n/a

Natural lighting

- The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
- The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.

Artificial lighting:

• The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

OTHER

- The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
- The applicant must install fixed outdoor clothes drying line as part of the development.

Alternative energy

- The applicant must install a photovoltaic system as part of the development.
 The applicant must connect this system to the development's electrical system.
- The photovoltaic system must consist of photovoltaic collectors with the capacity to generate at least 1 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north.

The Basix certificate should be read in conjunction with the Nathers certificate (including the additional notes pages 4 & 5).

Building Elements

/For Details: see the Nathers certificate

Thermal Comfort-Simulation method

A detailed method of assessment with greater flexibility of solution choice and capacity to assess complex dwelling designs.

The dwelling design has been assessed with NatHERS software from an accredited assessor

External Walls

- Timber Stud Frame Brick Veneer, R2.5 Anti-glare foil with bulk no gap
- Tilt Up Concrete, Lined Timber Stud Frame to earth, R2.5 Bulk Insulation

Internal Wall

- Timber Stud Frame, Direct Fix Plasterboard, R2.5 Bulk Insulation, No Air Gap (Against Garage)
- Timber Stud Frame, Direct Fix Plasterboard No Insulation (All Others)
- Tilt Concrete, No Insulation (Basement)

External Floor

- Concrete Slab on Ground
- Suspended Floor (Open to Air)- R2.5

Internal Floor/Ceiling

- Concrete Timber Framed Above Plasterboard, R2.5 Bulk Insulation (Above Garage)
- Concrete Timber Framed Above Plasterboard, No Insulation (All Others)

External Ceiling

- Plasterboard on Timber, R2.5 Bulk Insulation Unventilated roofspace(Reduced insulation near the eave in the distance of 580mm)
- Plasterboard on Timber, R5.0 Bulk Insulation Unventilated roofspace(All others/ unaffected ceiling area)

Roof

• Corrugated Iron Timber Frame, R1.8 Bulk, Reflective Side Down, No Air Gap Above

Note: All coffer ceiling verticals and walls against the roof-space, to be insulated, with the same insulation as the ceiling insulation

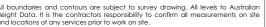
Note: All downlights: IC-F /IC-4/ (insulation covered/ including the control gears/) rated as per AS/NZS standard 60598 and IP (sealed) rated as per BS EN 60529:1992, European IEC 60509:1989

Note: (where the roof is extended over an open area such as a deck or carport): A barrier to be installed within the roof space to separate the space above the zoned part of the house and the space above the open veranda.

Note-Ceiling fans: For the number and the location, see the Nathers certificate.

For additional information please refer to the additional notes on the Nathers certificate.

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Α	8/03/2025	Issue for DA

DRAWING: Basix Notes

CLIENT: B.Sharma & P.K. Sharma

PROJECT: DOUBLE STOREY DWELLING WITH
BASEMENT

PROPOSED #120B,Marco Avenue,Panania

ADDRESS: Lot-22 DA-411-2023

CURRENT #120A,Marco Avenue,Panania

ADDRESS: Lot-2 DP-612941

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 DATE:

 Rekha
 8/03/2025

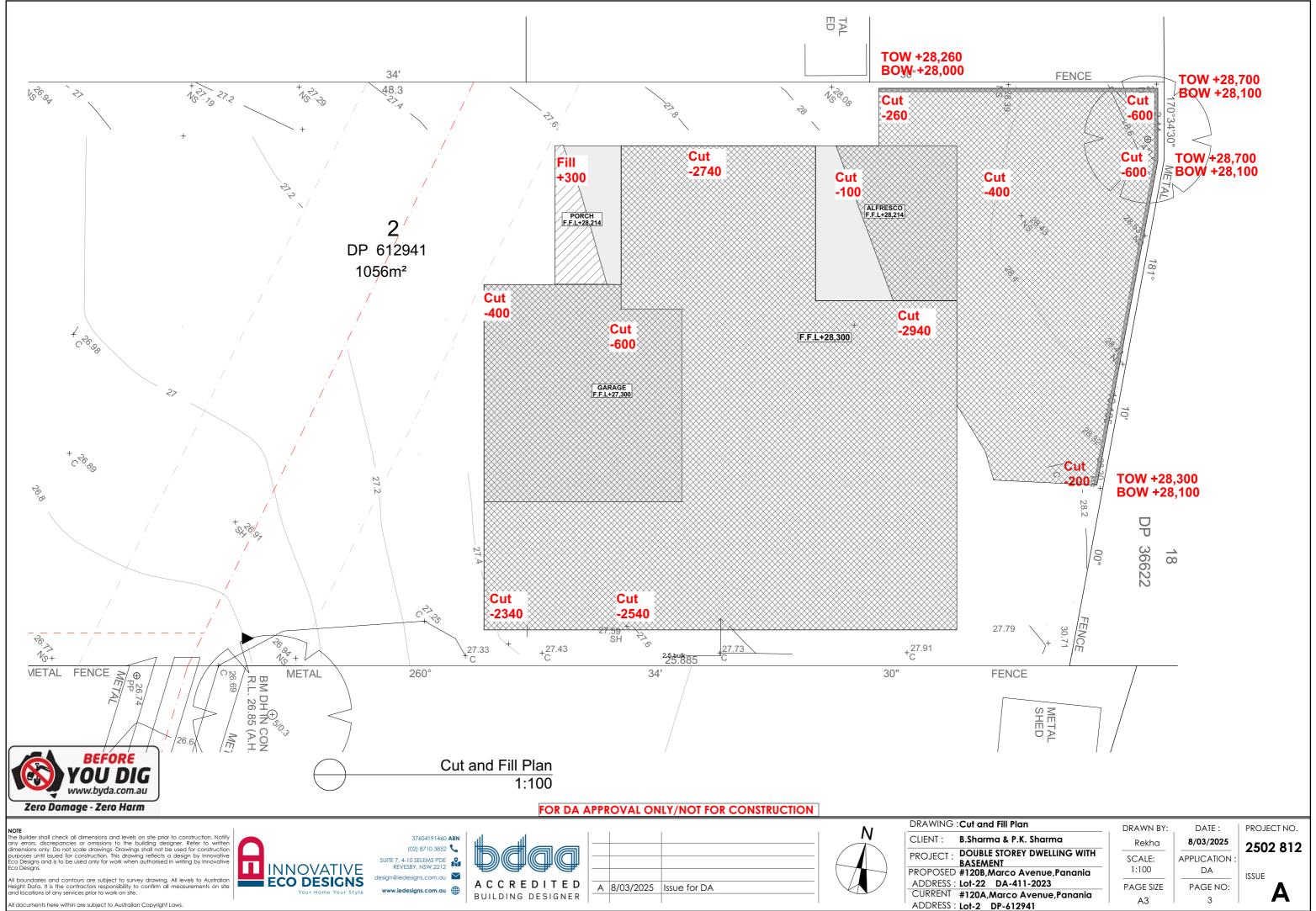
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 PAGE NO:

ISSUE A

PROJECT NO.

2502 812



SITE CALCUALTIONS			FSR		
No.	Name	Area SQM	No	Name	Area SQM
01	Site Area	528.00	1	Ground Floor	131.62
02	Total Landscape area	158.88	2	First Floor	132.24
		I			263.86 m²





Scan QR code or follow website link for rating details. Assessor name Zoran Cvetkovski

Accreditation No. DMN/13/1641

Property Address Unit 120B, 120A Marco

Avenue, PANANIA NSW,2213



SURVEY LEGEND

SURVEY LEGEND

AHD AUSTRALIAN HEIGHT DATUM
BM BENCH MARK
C EDGE OF CONCRETE
EL ENTRY LEVEL
GUT TOP OF GUTTER
INV INVERT OF PIT
4/0.2 TREE SPREAD / TRUNK DIAMETER
NS NATURAL SURFACE
RL REDUCED LEVEL
SH SPOT HEIGHT
TK TOP OF KERB
BK BOTTOM OF KERB
IP INSPECTION POINT
VC VEHICLE CROSSING
WM WATER METER
PP POWER POLE
TEL TELSTRA
HYD HYDRANT
GB GARDEN BED
BRW BOTTOM OF RETAINING WALL
TRW TOP OF RETAINING WALL

REDUCED LEVEL
SPOT HEIGHT
TOP OF KERB
BOTTOM OF KERB
INSPECTION POINT
VEHICLE CROSSING
WATER METER
POWER POLE
TELSTRA
HYDRANT
GARDEN BED
W BOTTOM OF RETAINING WALL
TOP OF RETAINING WALL

1100 01 101 01 101					
	LEGEND				
Ref.img	Mark	Name			
0	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)			
	R.W.T	Rain Water Tank			
	E.M	Electric Meter			
	A/C	Air Conditioner			
	HW	Wall Mounted Hot water System			
	P.O.S	Private Open Space			
	FW	Floor Waste			
	MV	Mechanical Ventilation (All vent to exhaust outside).			
	ME	Mechanical Ventilation (All vent to exhaust outside).			

www.byda.com.au Zero Damage - Zero Harm







Α	8/03/2025	Issue for DA	

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DRAWING	:Site Plan	
	B.Sharma & P.K. Sharma	
PROJECT:	DOUBLE STOREY DWELLING WITH BASEMENT	
PROPOSED	#120B,Marco Avenue,Panania	
, 12 2 11 2 00 i	Lot-22 DA-411-2023	
CURRENT	#120A,Marco Avenue,Panania	
ADDRESS :	Lot-2 DP-612941	

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BEFORE YOU DIG

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02	Total Landscape area	158.88	2	First Floor	132.24
					263.86 m²



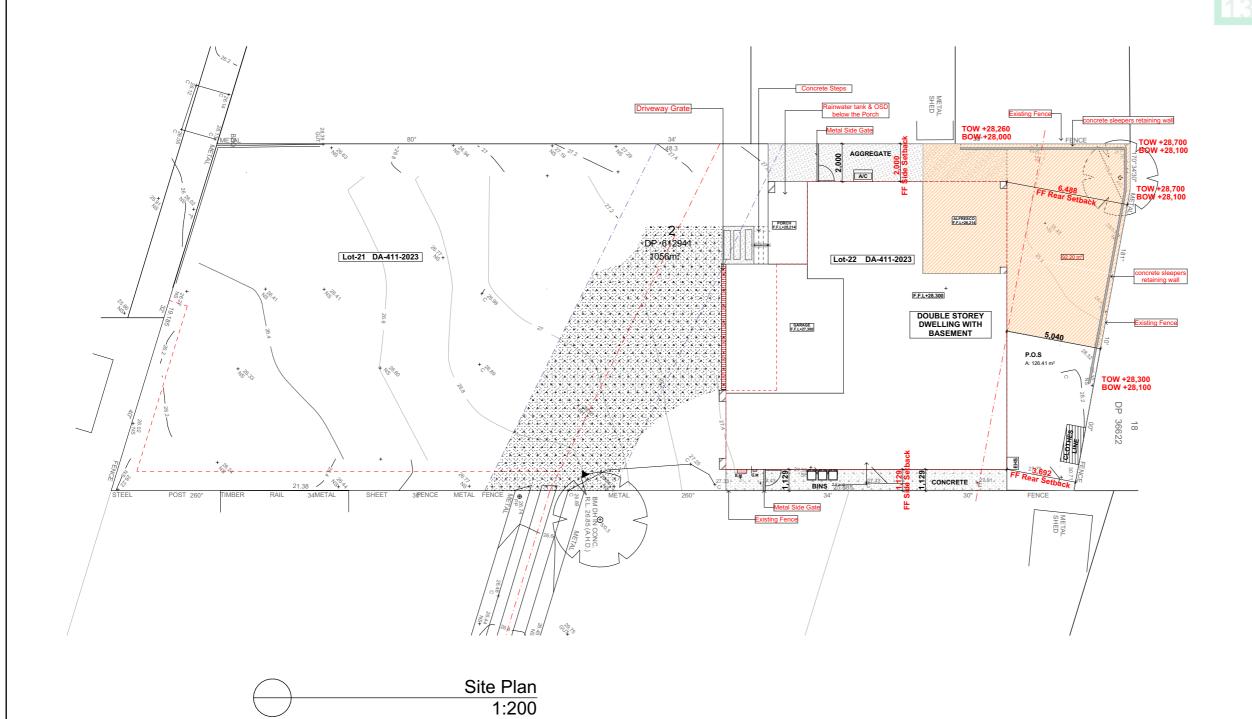
Scan QR code or follow website link for rating details.

Assessor name Zoran Cvetkovski Accreditation No. DMN/13/1641

Property Address Unit 120B, 120A Marco

Avenue, PANANIA NSW,2213





SURVEY LEGEND

SURVEY LEGEND

AHD AUSTRALIAN HEIGHT DATUM
BM BENCH MARK
C EDGE OF CONCRETE
EL ENTRY LEVEL
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INV INVERT OF PIT

4/0.2 TREE SPREAD / TRUNK DIAMETER
NS NATURAL SURFACE
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BK BOTTOM OF KERB
IP INSPECTION POINT
VC VEHICLE CROSSING
WM WATER METER
PP POWER POLE
TEL TELSTRA
HYD HYDRANT
GB GARDEN BED
BRW BOTTOM OF RETAINING WALL
TRW TOP OF RETAINING WALL

TOP OF RETAINING WALL

	LEGEND				
Ref.img	Mark	Name			
0	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)			
	R.W.T	Rain Water Tank			
	E.M	Electric Meter			
	A/C	Air Conditioner			
	HW	Wall Mounted Hot water System			
	P.O.S	Private Open Space			
	FW	Floor Waste			
	MV	Mechanical Ventilation (All vent to exhaust outside).			
	ME	Mechanical Ventilation (All vent to exhaust outside).			



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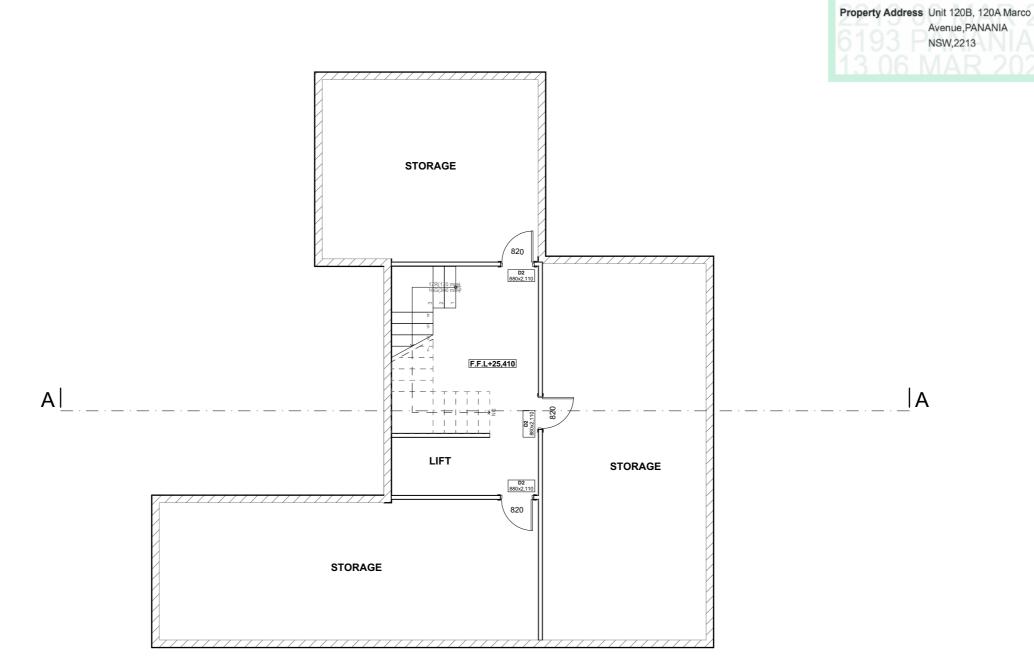
Α	8/03/2025	Issue for DA	



DRAWING	Site Plan
CLIENT:	B.Sharma & P.K. Sharma
PROJECT:	DOUBLE STOREY DWELLING WITH BASEMENT
PROPOSED	#120B,Marco Avenue,Panania
ADDRESS:	Lot-22 DA-411-2023
CURRENT	#120A,Marco Avenue,Panania
ADDRESS:	Lot-2 DP-612941

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PROJECT NO. 2502 812 ISSUE





Basement 1:100

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Α	8/03/2025	Issue for DA



DRAWING	Basement
	B.Sharma & P.K. Sharma
PROJECT :	DOUBLE STOREY DWELLING WITH BASEMENT
PROPOSED	#120B,Marco Avenue,Panania
, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Lot-22 DA-411-2023
CURRENT	#120A,Marco Avenue,Panania
ADDRESS:	Lot-2 DP-612941

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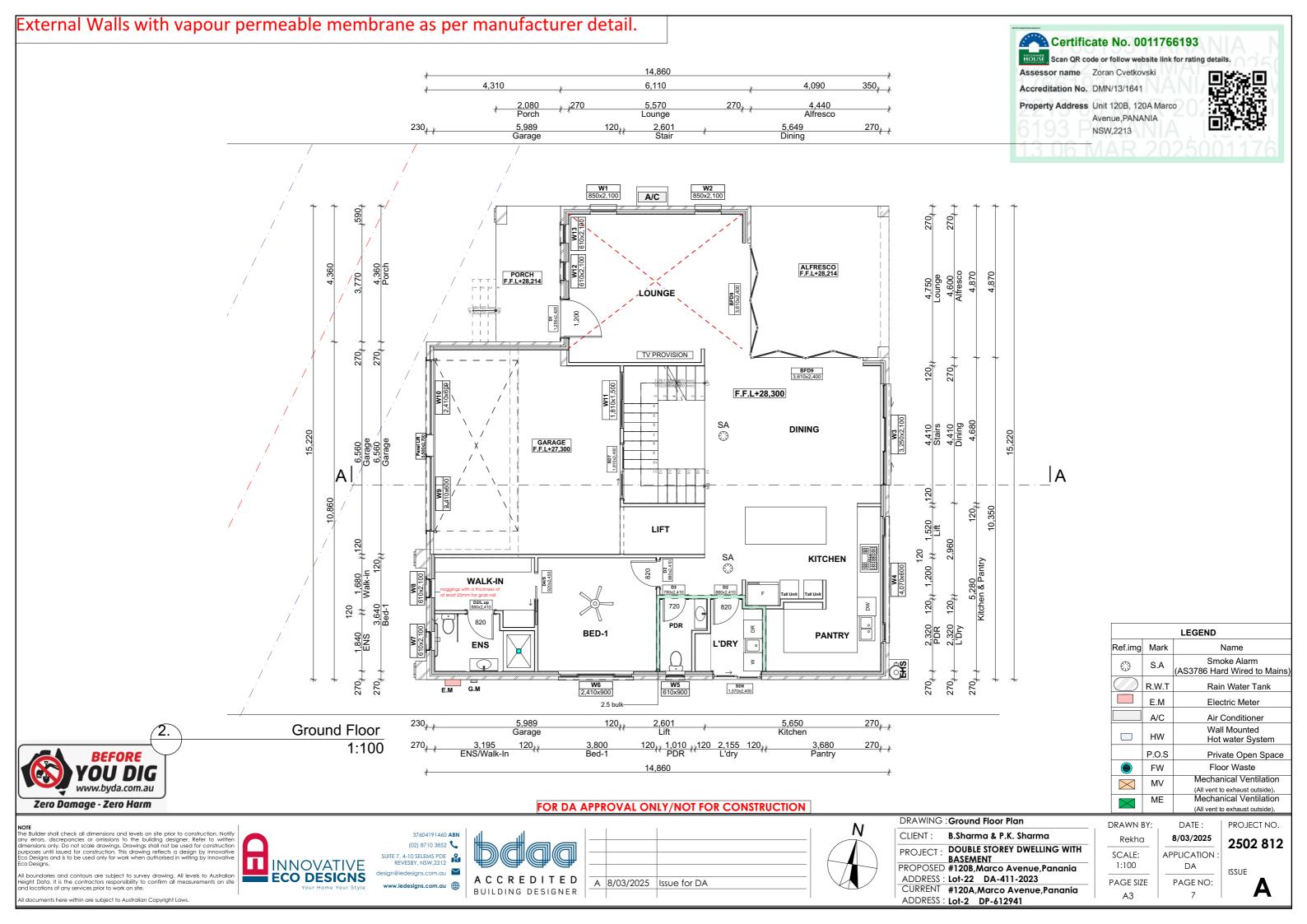
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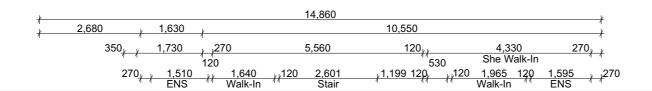
Certificate No. 0011766193

Assessor name Zoran Cvetkovski Accreditation No. DMN/13/1641

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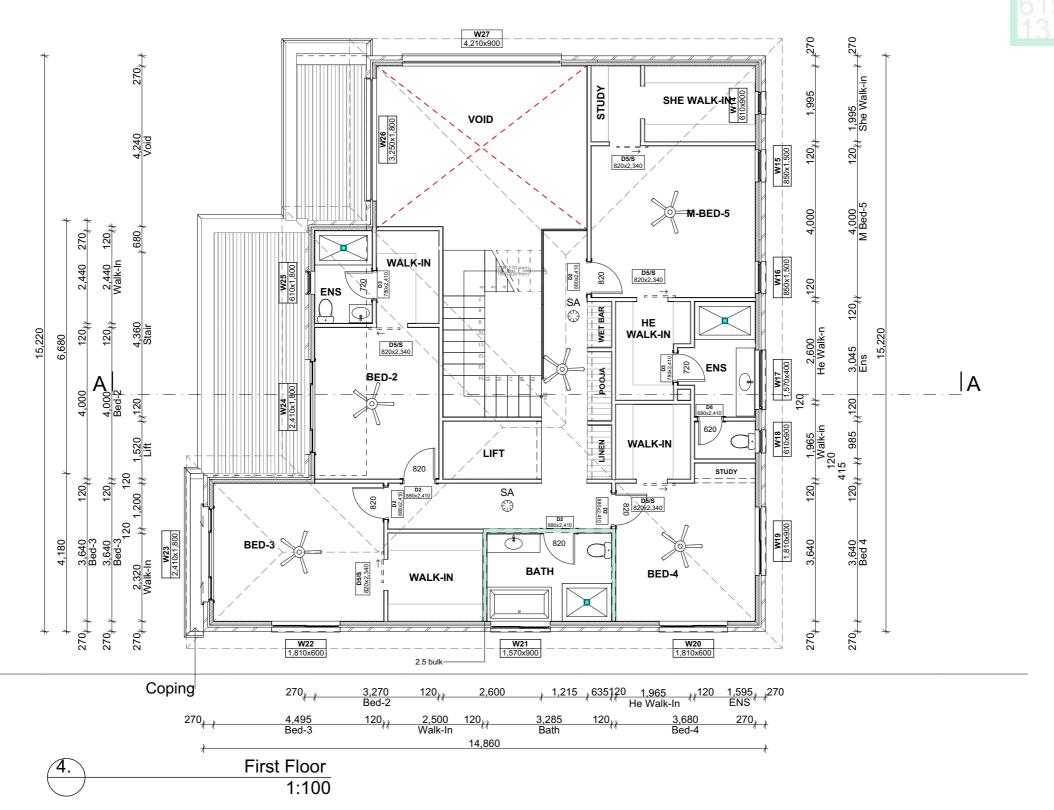


Assessor name Zoran Cvetkovski

Accreditation No. DMN/13/1641

Property Address Unit 120B, 120A Marco
Avenue, PANANIA
NSW, 2213





LEGEND				
Ref.img	Mark	Name		
0	S.A	Smoke Alarm (AS3786 Hard Wired to Mains		
	R.W.T	Rain Water Tank		
	E.M	Electric Meter		
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	HW	Wall Mounted Hot water System		
	P.O.S	Private Open Space		
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Eco Designs.	L

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SUITE 7, 4-10 SELEMS PDE REVESBY, NSW,2212	8
lesign@iedesigns.com.au	\vee
www.iedesigns.com.au	

bdaa
ACCREDITED
BUILDING DESIGNER

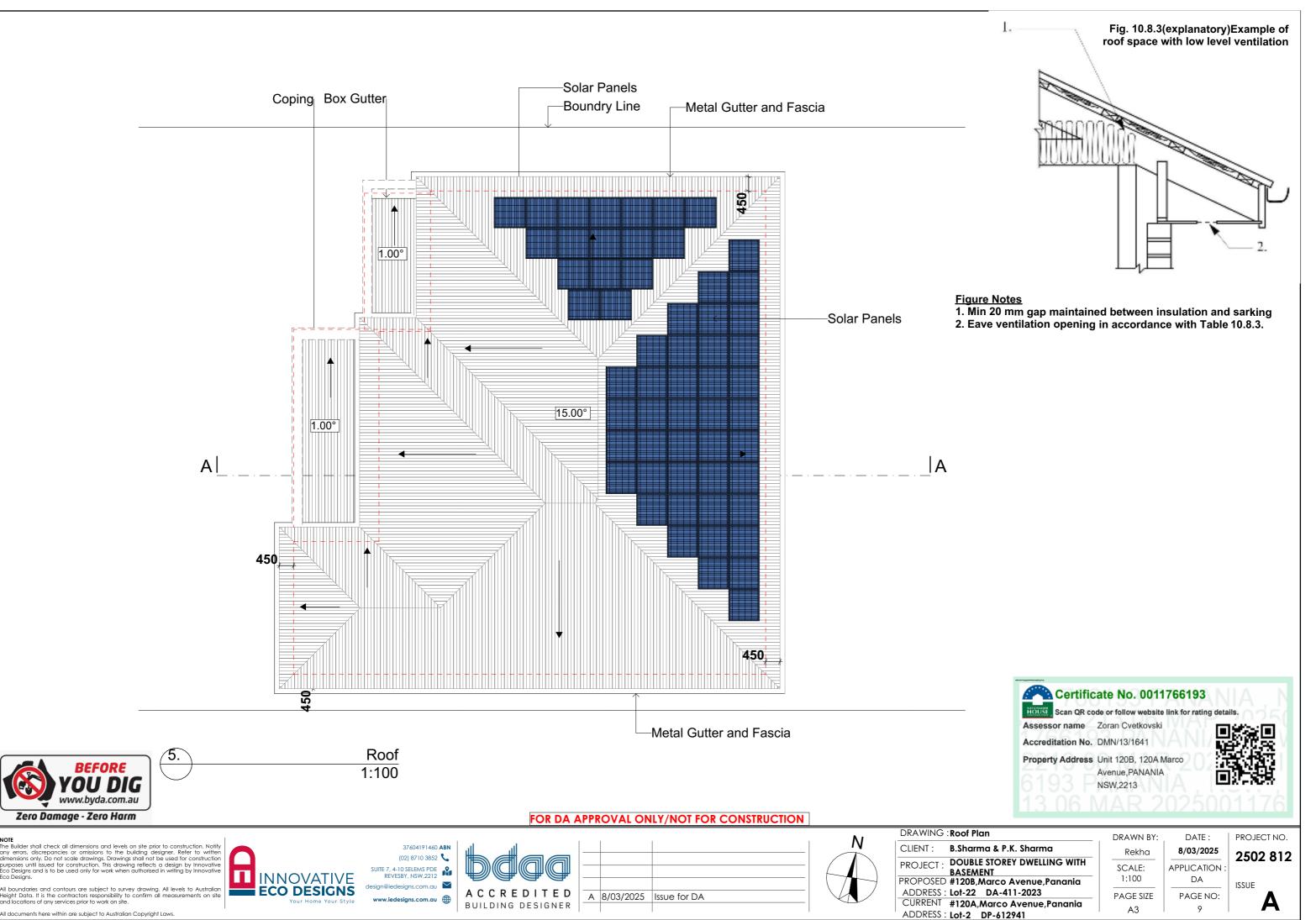
Α	8/03/2025	Issue for DA



DRAWING	:First Floor Plan	
_	B.Sharma & P.K. Sharma	
PROJECT :	DOUBLE STOREY DWELLING WITH BASEMENT	
PROPOSED	#120B,Marco Avenue,Panania	
ADDRESS:	Lot-22 DA-411-2023	
CURRENT	#120A,Marco Avenue,Panania	
ADDRESS:	Lot-2 DP-612941	

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First floor windows to touch the eaves. 9m (max building height) Ridge +36,030 Selected Colorbond Roof 15.00° Metal Gutter and Fascia Roof +34,430 -Aluminium Window Insulated external Roller shutter W23 W24 W25 obscure glass 200 Face Brick Wall -Molding First -Render Finish Parapet wall +31,690 +31,240 Render Finish Brick Pier

2,100

+27,300

-Aluminium Window

Panel Lift Door

West Elevation (Front)

+27,550

Ground

+28,300

9m (max building height) -Solar Panels Ridge +36,030 15.00° Selected Colorbond Roof Metal Gutter and Fascia Roof +34,430 -Aluminium Window obscure glass -Face Brick Wall -Molding First +31,690 +31,240 -Brick Pier 2,100 W3 1,050,600 Ground +28,300 +28,000 Existing Ground Proposed Ground

Certificate No. 0011766193

Scan QR code or follow website link for rating details.

Assessor name Zoran Cvetkovski

Accreditation No. DMN/13/1641

Property Address Unit 120B, 120A Marco

Avenue,PANANIA NSW,2213



East Elevation (Rear) 1:100

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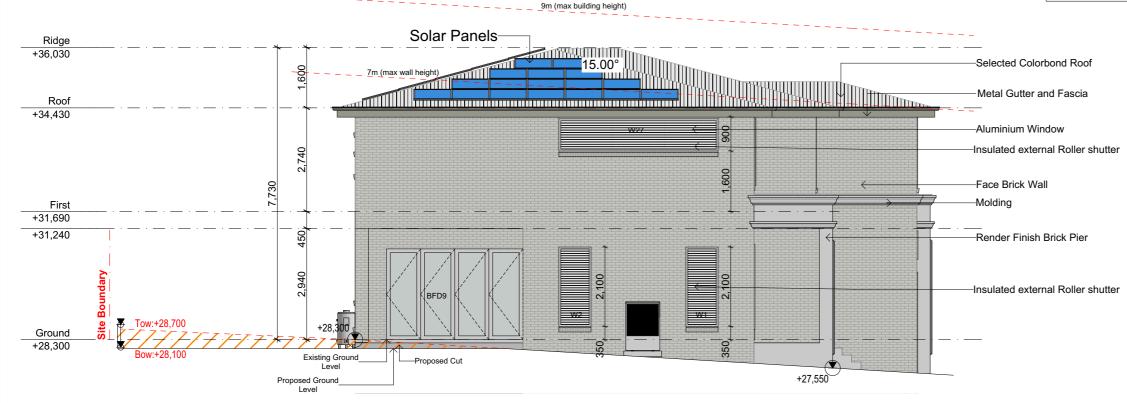


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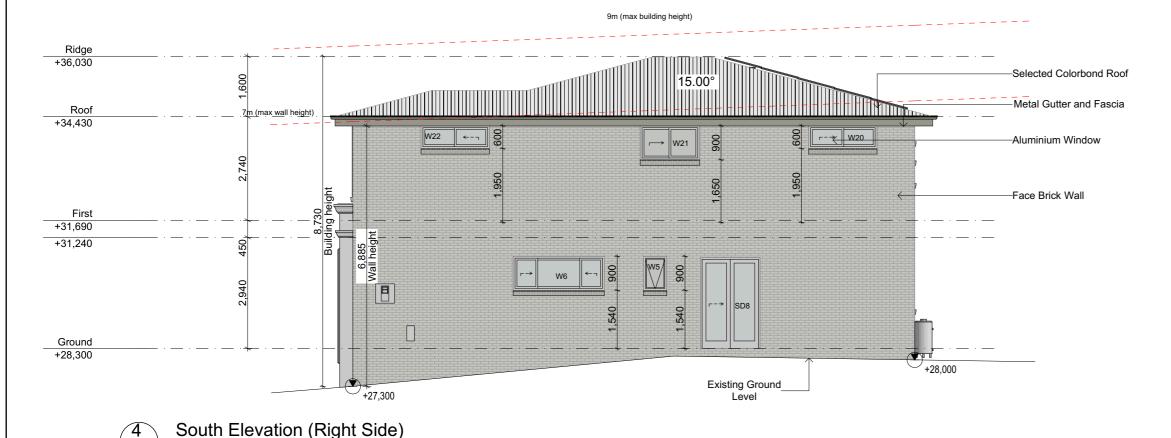
DRAWING : Elevations				
		rma & P.K. Sharma		
PROJECT :	DOUBL	LE STOREY DWELLING WITH		
PROPOSED	#120B	,Marco Avenue,Panania		
ADDRESS:	Lot-22	DA-411-2023		
CURRENT	#120A	,Marco Avenue,Panania		
ADDRESS:	Lot-2	DP-612941	1	

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First floor windows to touch the eaves.



North Elevation (Left Side) 1:100



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Assessor name Zoran Cvetkovski

Accreditation No. DMN/13/1641

Property Address Unit 120B, 120A Marco Avenue, PANANIA NSW,2213



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INNOVATIVE ECO DESIGNS

1:100





Α	8/03/2025	Issue for DA

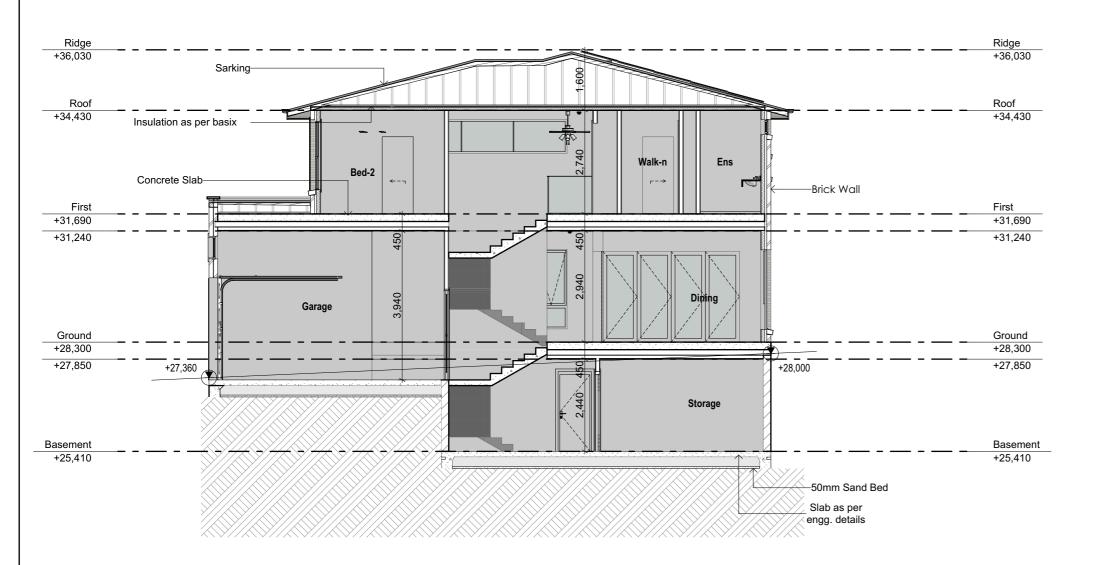
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_		
	DRAWING	Side Elevations
		B.Sharma & P.K. Sharma
	PROJECT:	DOUBLE STOREY DWELLING WITH BASEMENT
	PROPOSED	#120B,Marco Avenue,Panania
	7 12 2 11 200 1	Lot-22 DA-411-2023
	CURRENT	#120A,Marco Avenue,Panania
	ADDRESS:	Lot-2 DP-612941

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11

ISSUE



Section 1:100



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Assessor name Zoran Cvetkovski

Accreditation No. DMN/13/1641

Property Address Unit 120B, 120A Marco

Avenue, PANANIA NSW,2213



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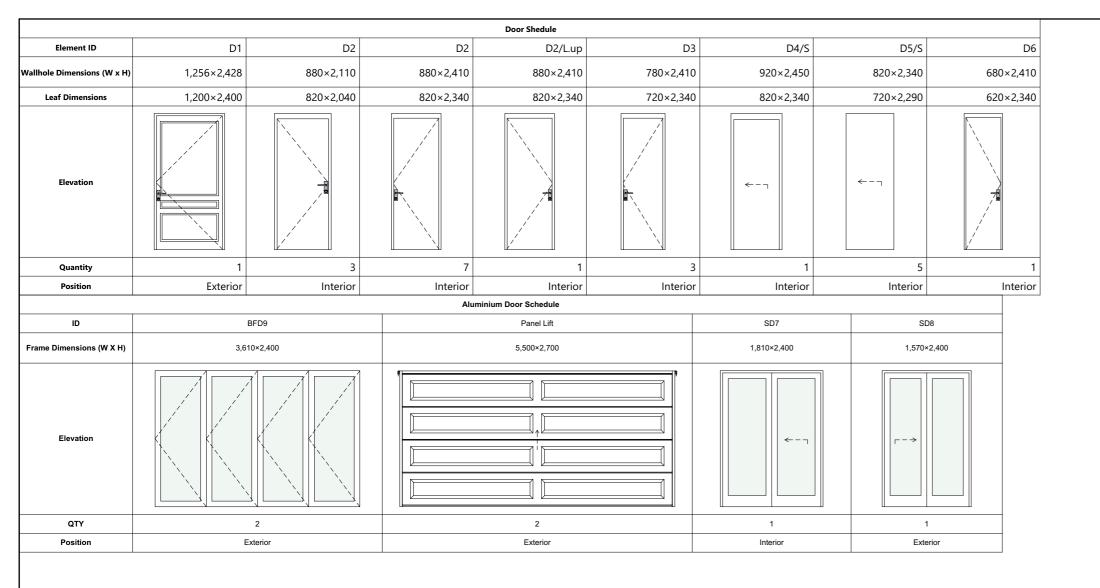


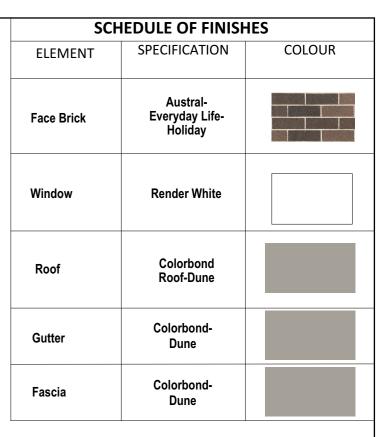
Α	8/03/2025	Issue for DA

		_
DRAWING	Section	
	B.Sharma & P.K. Sharma	
PROJECT :	DOUBLE STOREY DWELLING WITH BASEMENT	
PROPOSED	#120B,Marco Avenue,Panania	
ADDRESS:	Lot-22 DA-411-2023	
CURRENT	#120A,Marco Avenue,Panania	

ADDRESS : Lot-2 DP-612941

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Α	8/03/2025	Issue for DA

DRAWING: Door Schedule & SOF CLIENT: B.Sharma & P.K. Sharma

ADDRESS : Lot-2 DP-612941

PROJECT : DOUBLE STOREY DWELLING WITH **BASEMENT** PROPOSED #120B, Marco Avenue, Panania ADDRESS : Lot-22 DA-411-2023 CURRENT #120A,Marco Avenue,Panania

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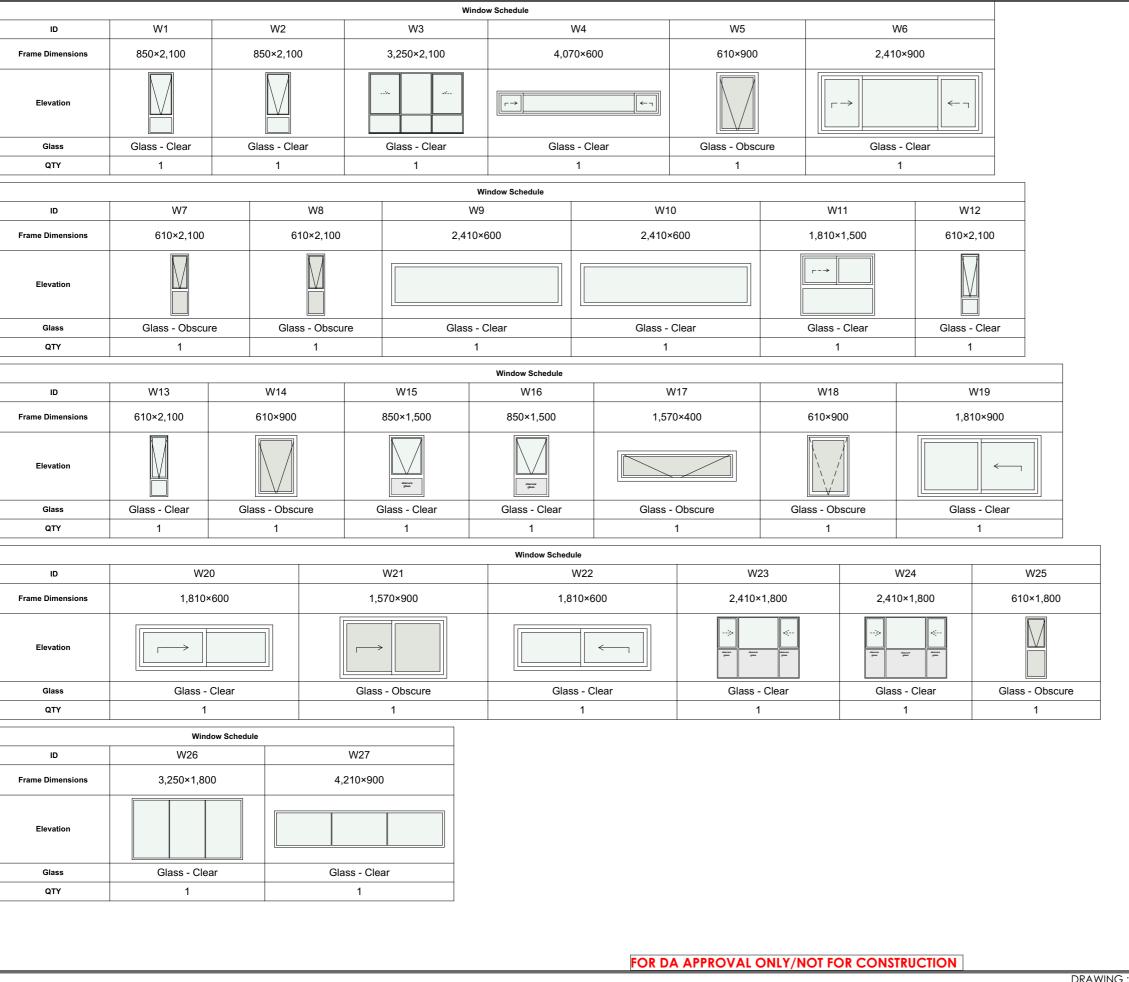
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PROJECT NO.





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Α	8/03/2025	Issue for DA

DRAWING: Windows Schedule

CURRENT #120A, Marco Avenue, Panania ADDRESS: Lot-2 DP-612941

DRAWN BY: Rekha SCALE:

A3

Avenue, PANANIA NSW,2213

Certificate No. 0011766193

Assessor name Zoran Cvetkovski

Property Address Unit 120B, 120A Marco

Accreditation No. DMN/13/1641

Scan QR code or follow website link for rating details.

PROJECT NO. 8/03/2025 2502 812

DA 14

ISSUE

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CLIENT: B.Sharma & P.K. Sharma PROJECT: DOUBLE STOREY DWELLING WITH **BASEMENT** PROPOSED #120B, Marco Avenue, Panania ADDRESS: Lot-22 DA-411-2023

DATE:

BE CHECKED AND CONFIRMED BY BUILDER ON SITE BEFORE

PLACING ORDER.
-FALL PREVENTION FROM WINDOWS
-WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF NCC 2022 vol. 2 part 11.3.7
1- If Opening withing 1700mm above the floor; and climable elements between 150 and 750 mM above the floor, opening must be permanently restricted to 125mm; or fitted withn a non-removable robust screen.
2-If opening between 865 and 1700mm above the floor; and no climable elements between 150 and 760mm bove the floor, opening must be restricted to 125mm; or fitted with a removable robust screen.
3- If opening between 865 of the floor; and climable elements between 150 and 760mm above the floor; and climable elements between 150 and 760mm above the floor; and climable elements between 150 and 760mm above the floor; and climable elements between 150 and 760mm above the floor; and climable removable robust

150 and 760mm above the floor;or fitted with a non-removable robus

Part 11.3.7 Protection of openable windows - bedrooms (1) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface

2) Where the lowest level of the window opening covered by (1) is less han 1.7 m above the floor, the window opening must comply with the

a) The openable portion of the window must be protected with) a device capable of restricting the window opening; or
i) a screen with secure fittings.
b) A device or screen required by (a) must—
) not permit a 125 mm sphere to pass through the window opening or

i) resist an outward horizontal action of 250 N against the-A) window restrained by a device; or B) screen protecting the opening; and ii) have a child resistant release mechanism if the screen or device is ble to be removed, unlocked or overridden.

(3) Where a device or screen provided in accordance with (2)(a) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is required to the openable window in addition

(b) have any horizontal or near horizontal elements between 150 mm

11.3.8 Protection of openable windows - rooms other than bedrooms (1) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above

the surface beneath.
(2) The openable part of the window covered by (a) must be protected with a barrier with a height of not less than 865mm above the floor.
(3) A barrier required by (b) must not(a) permit a 125 mm sphere to pass through it; and
(b) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.

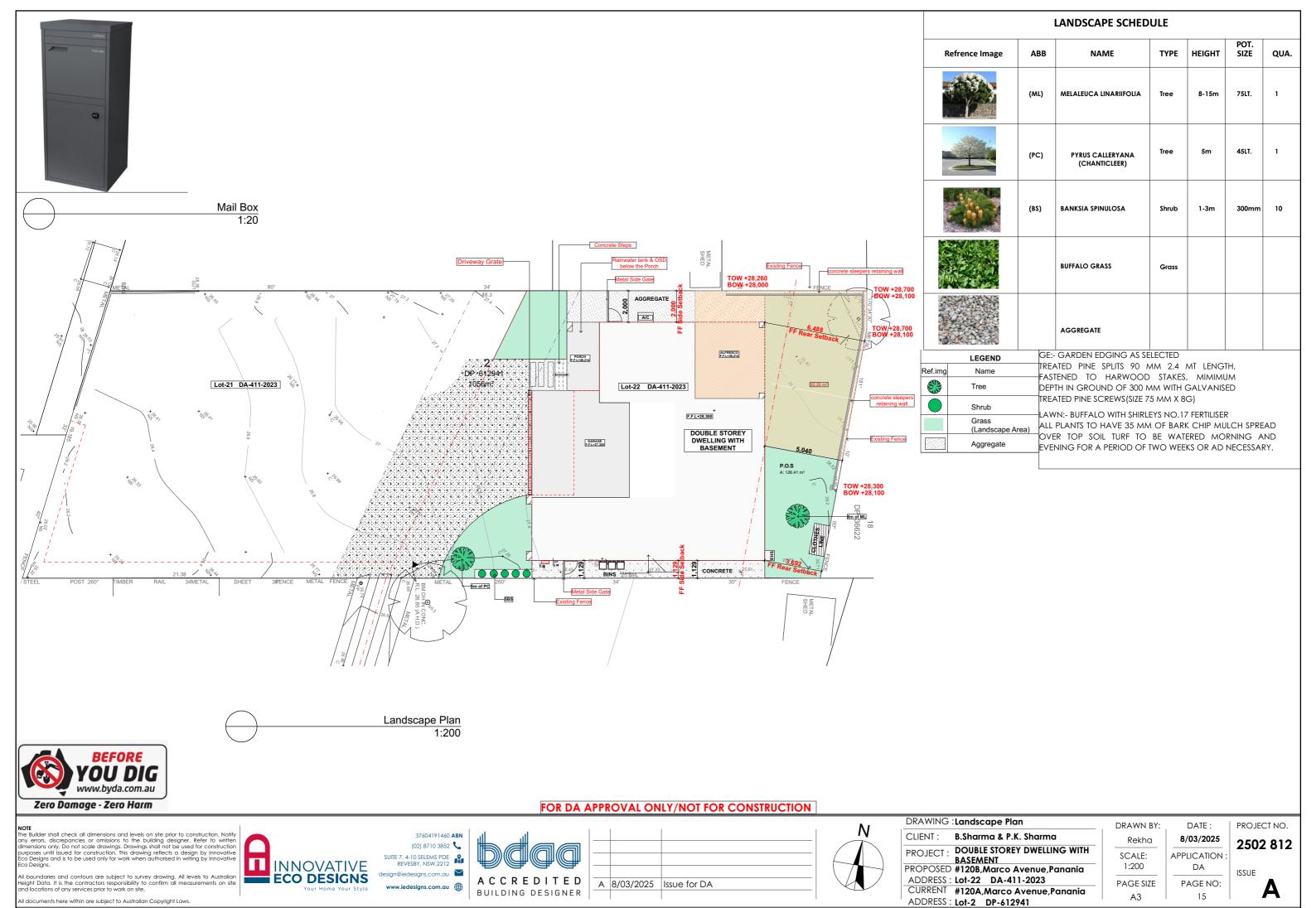
) A barrier covered by (3) must not-) permit a 125 mm sphere to pass through it; and

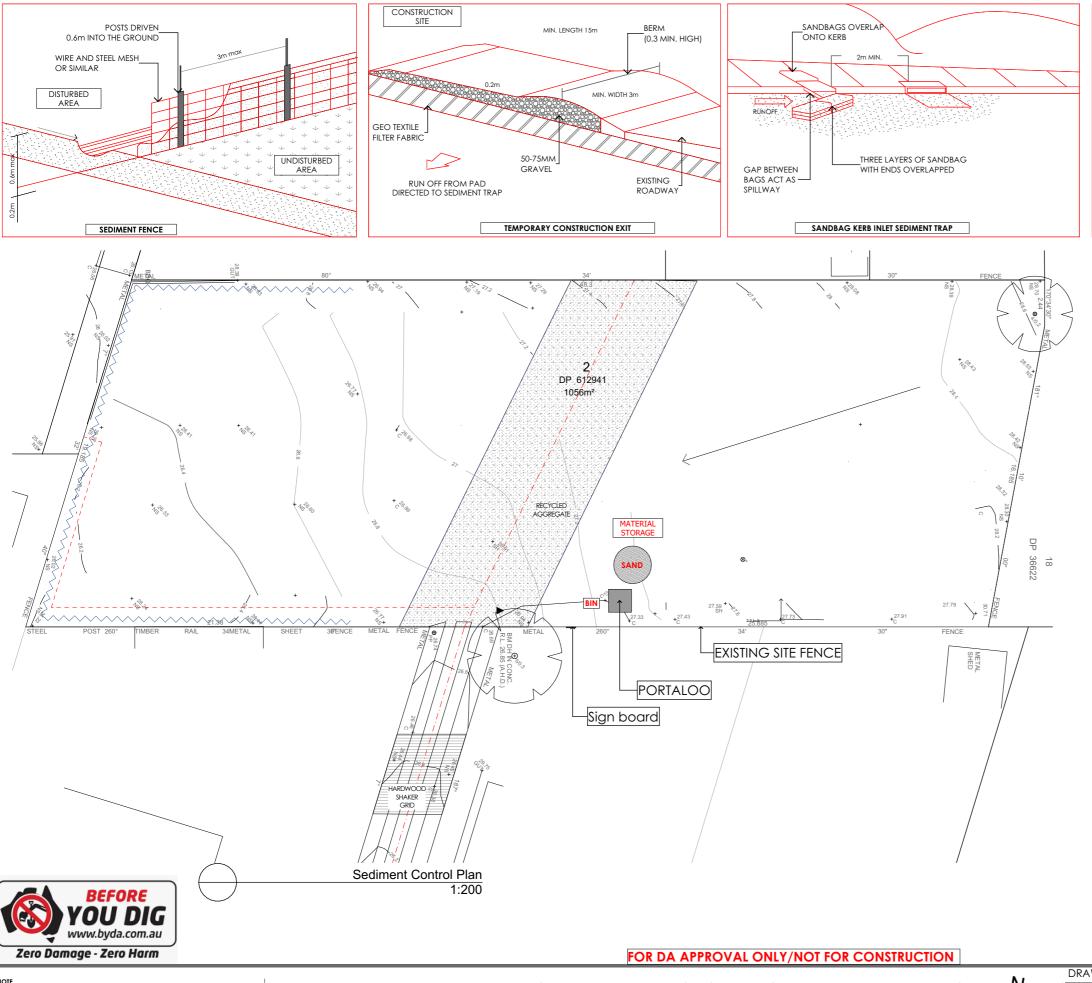
and 760 mm above the floor that facilitate climbing.

to window protection.

4-If no opening within 1700mm of the floor. No restrictions apply.

APPLICATION PAGE SIZE PAGE NO:





SEDIMENT CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- 3.SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES
- 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES AREA MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- 5. ALL DISTURBED AREAS SHALL BE REVEGITATED AS SOON AS THE RELEVANT WORKS. ARE COMPLETED.
- 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES
- AND AREA WHERE WATER MAY CONCENTRATE.
 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER.

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE, REGRADING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY. BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINSDOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL

SEDIMENT NOTES

- $1. \ \, \text{CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE.}$
- 2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
- 3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE
- ENTRENCHED.
- 4. BACKFILL TRENCH OVER BASE OF FABRIC.
- 5. FIX SELF SUPPORTING GEOTEXILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXILE MANUFACTURER.
- 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A Min LAP OF 150 mm.
- *THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE FOLLOWING:
- 1-ARCHITECTURAL PLANS 2-CONTOUR AND DETAIL SURVEY

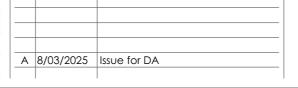
NOTE The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.

All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.





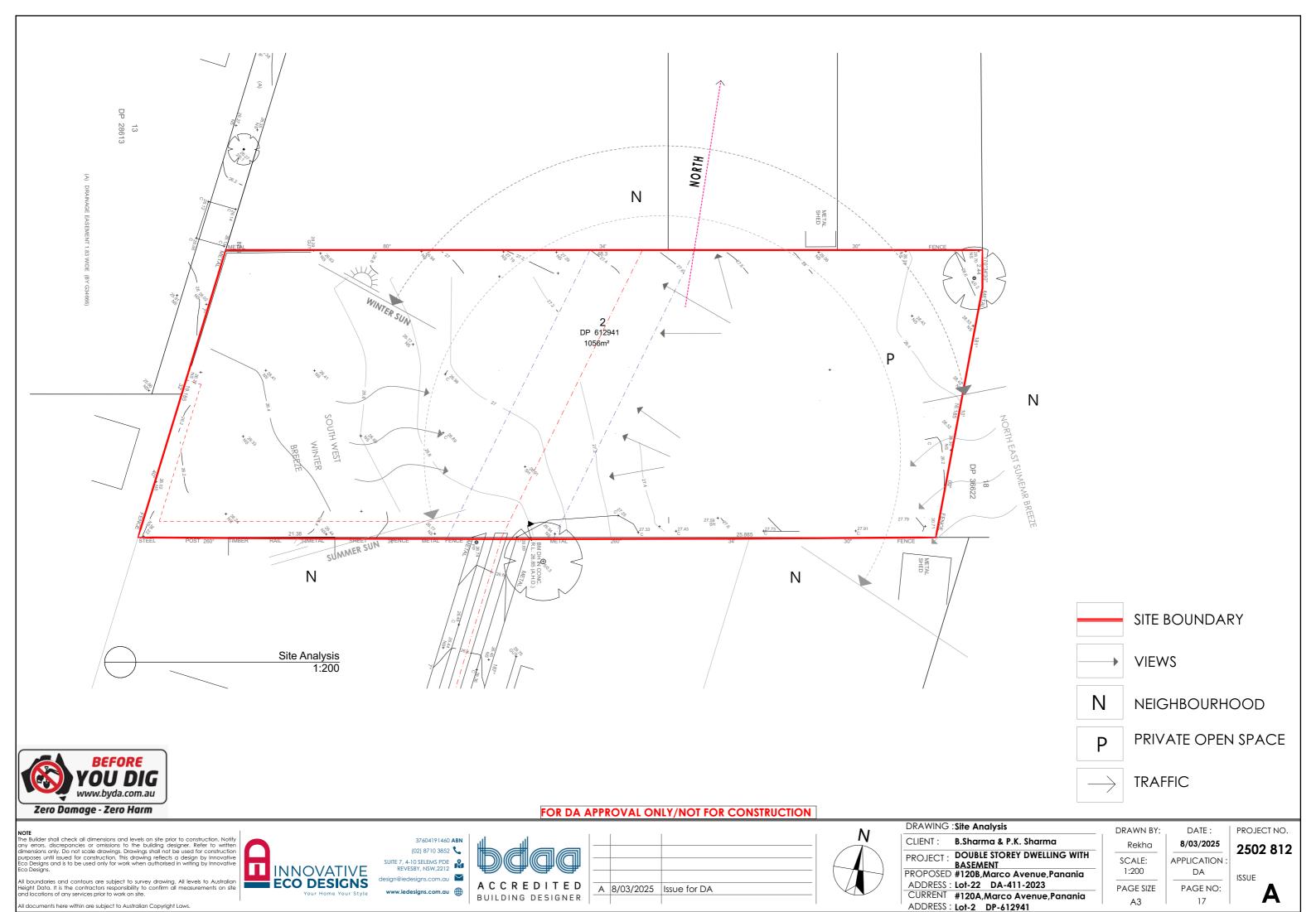


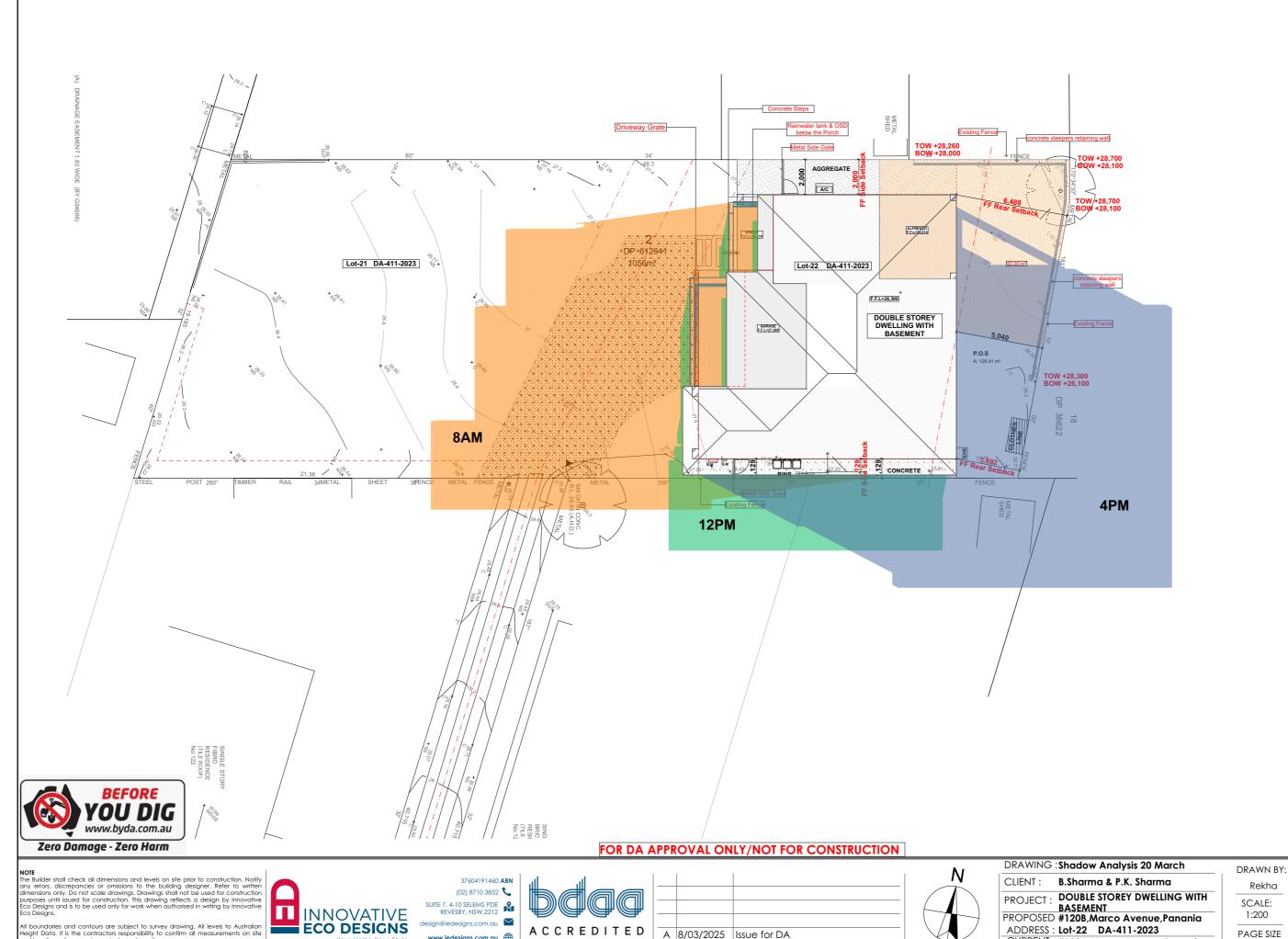




DRAWING	:Sedim	ent Control	Plan	
		ma & P.K. S		
PROJECT :	DOUBL	E STOREY D	WELLING WITH	-
PROPOSED	#120B,	Marco Ave	nue,Panania	
ADDRESS:	Lot-22	DA-411-2	023	
CURRENT	#120A	,Marco Ave	nue,Panania	
ADDRESS:	Lot-2	DP-612941		1

2502 812ISSUE





design@iedesigns.com.au

www.iedesigns.com.au

ACCREDITED

BUILDING DESIGNER

A 8/03/2025 Issue for DA

DATE:

8/03/2025

APPLICATION

DA

PAGE NO:

18

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ADDRESS : Lot-22 DA-411-2023

ADDRESS : Lot-2 DP-612941

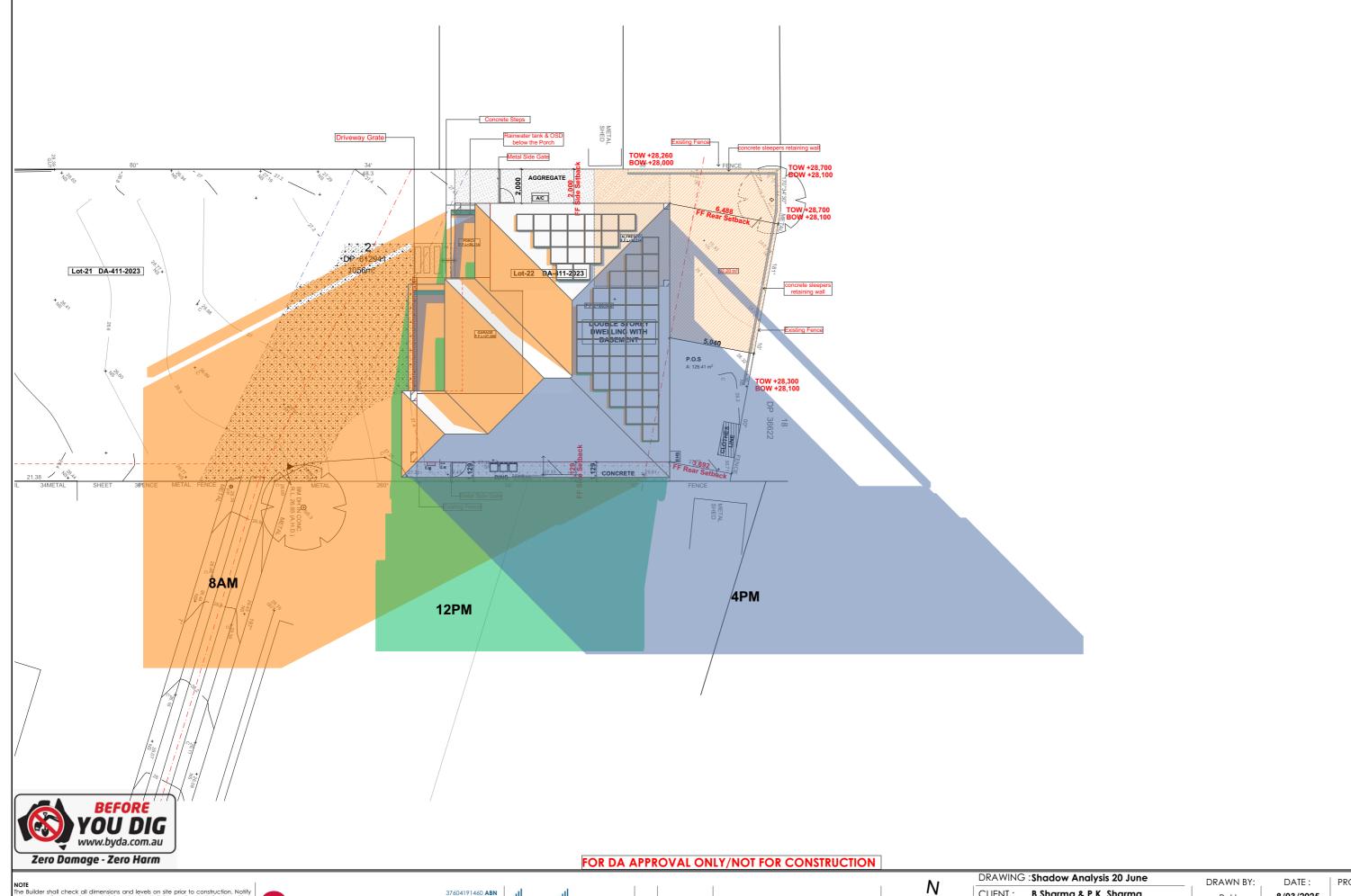
CURRENT #120A,Marco Avenue,Panania

PROJECT NO.

2502 812

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All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site. documents here within are subject to Australian Copyright Laws.



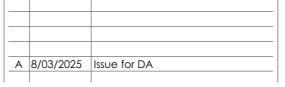
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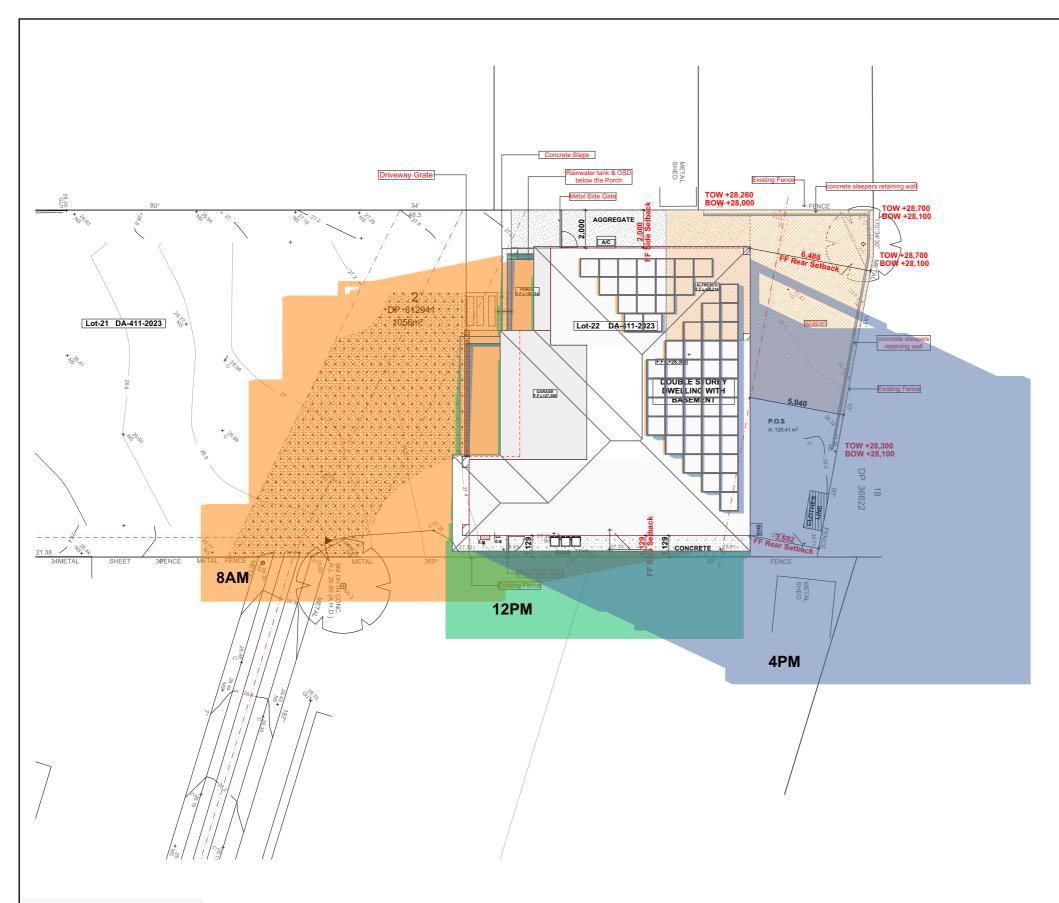


DRAWING	:Shadow Analysis 20 June	
_	B.Sharma & P.K. Sharma	
PROJECT :	DOUBLE STOREY DWELLING WITH BASEMENT	
PROPOSED	#120B,Marco Avenue,Panania	
ADDRESS:	Lot-22 DA-411-2023	
CURRENT	#120A,Marco Avenue,Panania	
ADDRESS:	Lot-2 DP-612941	

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PROJECT NO. **2502 812** :: ISSUE

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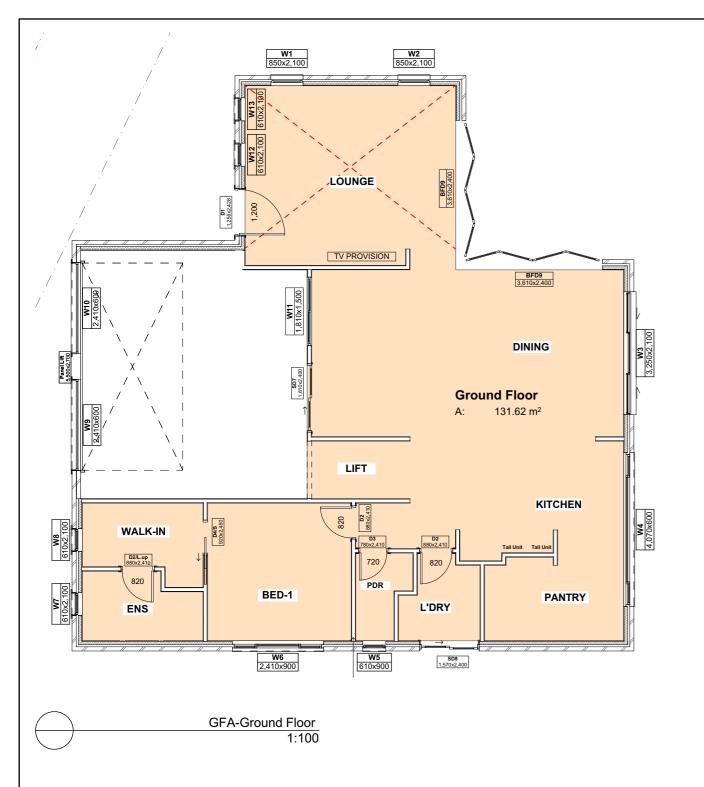
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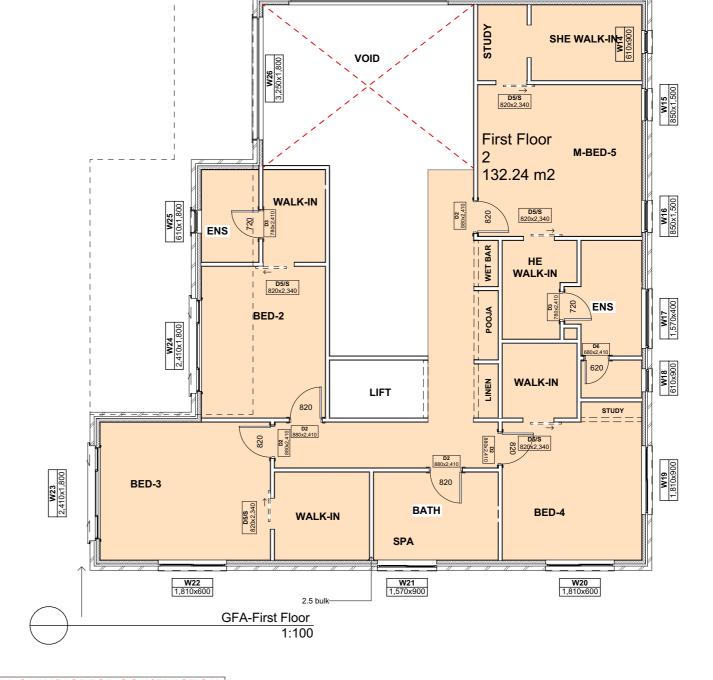


DRAWING	Shadow Analysis 20 Sep
CLIENT:	B.Sharma & P.K. Sharma
PROJECT :	DOUBLE STOREY DWELLING WITH BASEMENT
PROPOSED	#120B,Marco Avenue,Panania
	Lot-22 DA-411-2023
CURRENT	#120A,Marco Avenue,Panania
	Lot-2 DP-612941

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2502 812 ISSUE





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esign@iedesigns.com.au	${}^{\smile}$
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DRAWING : FSR Calculation	
CLIENT: B.Sharma & P.K. Sharma	
PROJECT: DOUBLE STOREY DWELLING WITH BASEMENT	_
PROPOSED #120B,Marco Avenue,Panania	
ADDRESS: Lot-22 DA-411-2023	_ F
CURRENT #120A,Marco Avenue,Panania	'
ADDRESS: Lot-2 DP-612941	ı

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 Rekha
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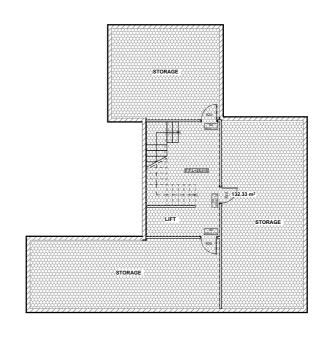
PROJECT NO.







Floor Flnish- Ground Floor



Floor Finish - Basement 1:200



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DRAWING	:Floor Finish	
	B.Sharma & P.K. Sharma	
PROJECT :	DOUBLE STOREY DWELLING WITH BASEMENT	
PROPOSED	#120B,Marco Avenue,Panania	
7 12 2 11 200 1	Lot-22 DA-411-2023	
CURRENT	#120A,Marco Avenue,Panania	
ADDRESS :	Lot-2 DP-612941	

Tile for wet area Timber finish DRAWN BY: DATE: PROJECT NO. 8/03/2025 Rekha 2502 812 SCALE: APPLICATION 1:200 DA PAGE SIZE PAGE NO: 22 А3

ISSUE

LEGEND

Name Indoor Tiles

Outdoor Tiles

Concrete finish

Ref.img